

Site Scope Proposal

**58 MacLeay Street, Turner ACT 2612
Completed on 13th of September 2025
Proposal Checklist Number: 1605
Extension**

You would be aware that members from our team visited your property and undertook a detailed site inspection.

The purpose of this site inspection was to ascertain the total additional overheads that will likely be required to meet your project objectives whilst ensuring that we;

- meeting planning legislation requirements
- anticipating the likely imposed conditions required to meet utility provider’s consent meeting or exceeding world-best practice for residential construction

As you may be aware, we do provide prospective customers with a fix-price proposal. It’s our ambition that if a customer was overseas and they selected a design that we could deliver at or below the advertised price with nothing additional to spend, what we call a Turnkey price, so upon their return they simply move in.

We break the main prices into 3 key components Build Cost, Site Works Avg. and Planning Cost Avg. In the example below, the \$8,630 for **Site Works** would include:

Build Cost	\$266,678
Site Works Avg.	\$8,630
Planning Cost Avg.	\$117,620
Total Investment	\$286,928

- Site preparation including excavation for underground service, footings and foundations
- Safety including site fencing for the duration of the project
- Waste management which is the removal of all building waste and packaging from the site
- Delivery of all items including loading/unloading
- Connection of power, sewage and stormwater

However, some properties will require additional Site Works to meet ACT Planning and utility’s objectives.

Within this Site Scope Report, we have provided an itemised list of the areas/elements of your property/block that may require work so we can obtain approval to build and complete the desired project

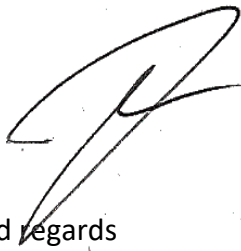
Many of the required works including things like tree removal, demolition of existing structures, construction of retaining walls, and those works that are not principally structural or which require engineer certification can often be completed before final approvals are granted, and before construction of your project can commence.

We have provided specific prices of the components that we believe you will need to factor to complete your project.

Work imposed by utility providers such as ICON Water and Evo Energy generally requires their contractors to complete.

We have identified the project components that you can do yourself, get done through a third party or engage CGFB to complete.

The end goal is to provide you with a total fixed price proposal that ensures certainty and clarity. Again, we thank you for the opportunity to work with you in creating your WorldClass design. If you have any questions please email or phone our office on 1300 979 658 or info@cgfb.com.au.



Kind regards

Jason Yeung

Proposal Coordinator

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Client Overview

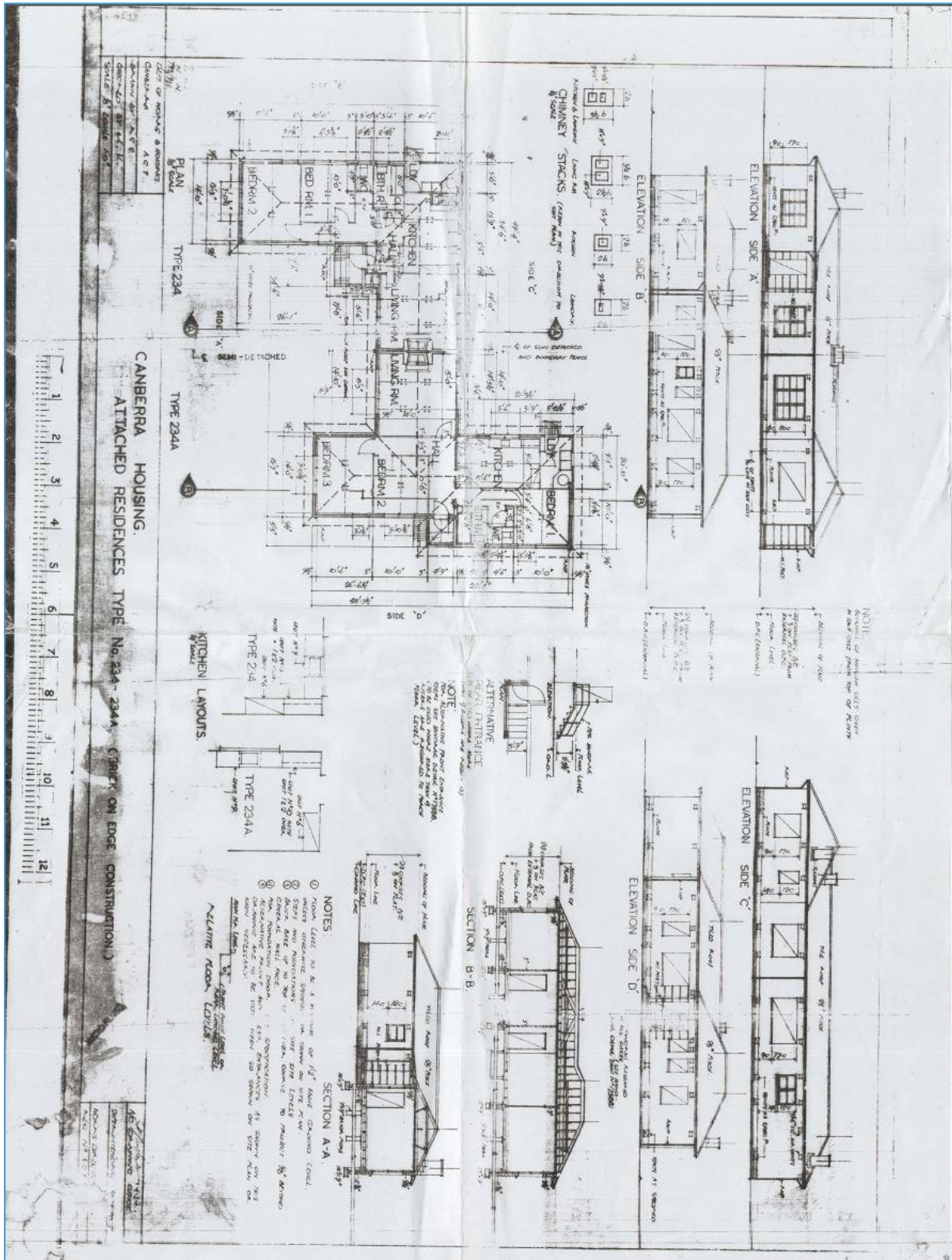
Project Address	58 MacLeay Street, Turner ACT 2612
Property Type	Investment Property
Block Number	22
Section Number	62
Suburb/Division	Turner
Land Use Zone	RZ4: MEDIUM DENSITY RESIDENTIAL
Block Size and Approval	767 m2
Block Type	Large Block
Easements	NA
Location of Switchboard	Internal
Above/Below Ground Power	Below
Heritage	NA
Protected, registered or regulated trees	Yes
Lease Purpose	Single Residential Dwelling
Unimproved Value	NA
Rates	NA
Land Tax	NA

Schedule of Elements on Site

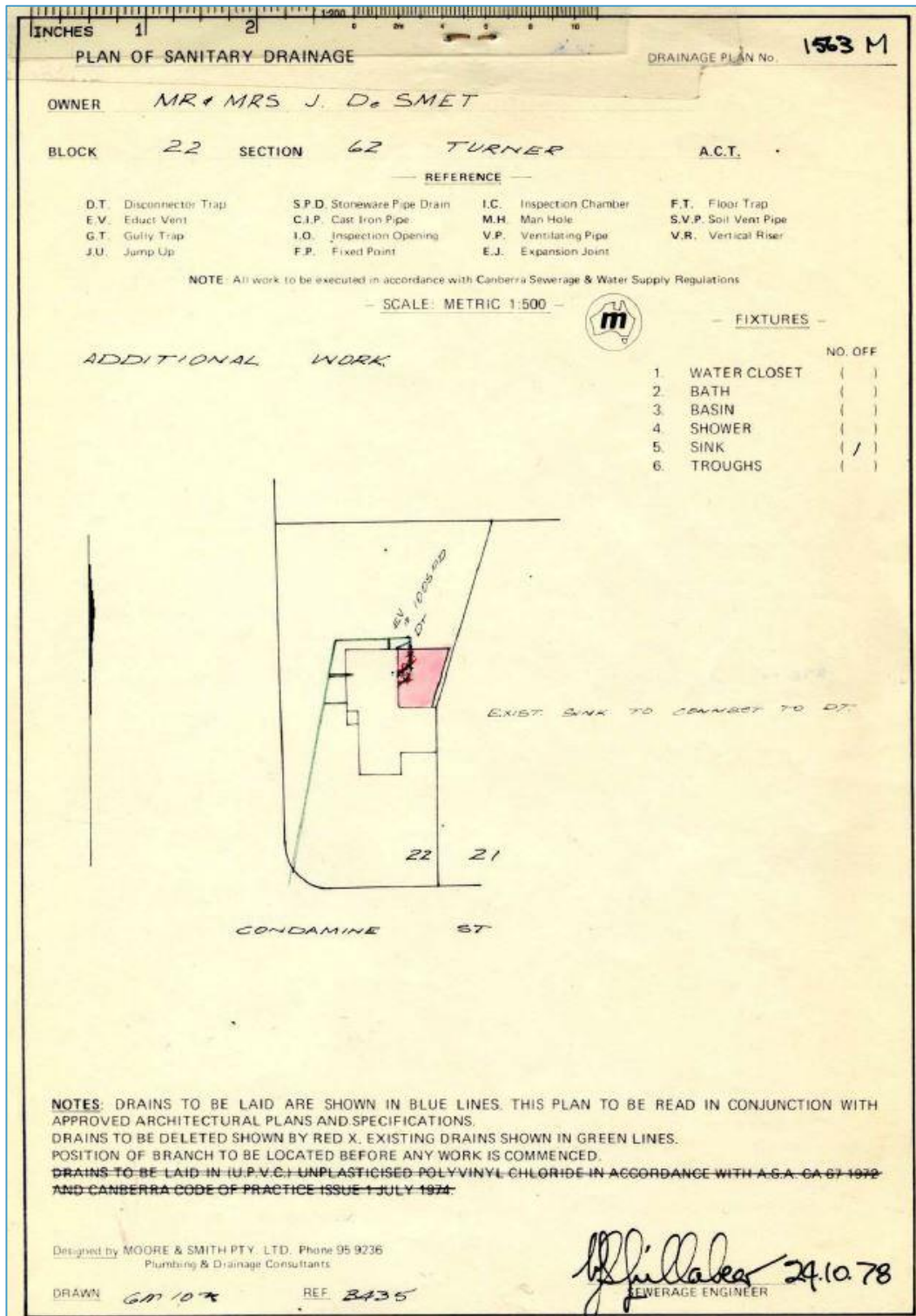
Site works required	Yes, it is required	No, it is not required	It is possibly required
Water saving measures – to meet planning and development conditions (i.e.: Water Saving Fixture(s), Water tank(s))	✓		
Stormwater Channel Drain – requirement by Liveable Housing Design or from paths/driveways sloping towards structure		✓	
Scaffolding/Mobile Scaffolding – height requirements structures above 3.5m from natural ground level (NGL)	✓		
Concrete Piers – likely to be imposed by utility providers due to close vicinity to easements.		✓	
Concrete Piers – as a requirement due to the elevations of your site or finish floor level requirements or other in ground structures i.e. pool		✓	
Underground water service upgrade – imposed by utility providers			✓
Drainage upgrade – required when construction occurs over existing drainage, and/or connections are >15m and or challenging to access.	✓		
Site Cut and or fill - dependant on ground contours and elevations	✓		
Retaining wall - dependant on ground contours and elevations or change in natural ground level and battering/slope is not possible.		✓	

Demolition: Element name and notes	Yes, it is required	No, it is not required	It is possibly required
Access – will we need to modify the property to enable earthwork equipment to access the site		✓	
Existing structure: E.g. Garage, extensions, studios,	✓		
Minor existing structure: E.g. Clothesline, shed, fencing	✓		
Asbestos Testing and Clearance	✓		
Asbestos Removal			✓
Concrete and Paving Demolition and Recycling – driveway, paths, concrete slabs, etc.	✓		
Removal of Garden and Shrubs		✓	
Removal of Existing Trees and or Tree stumps	✓		
Removal of existing Retaining wall		✓	
Steel recycling – sheds, garages, pergola roofs, etc.			

Plans and elevations for the existing residence

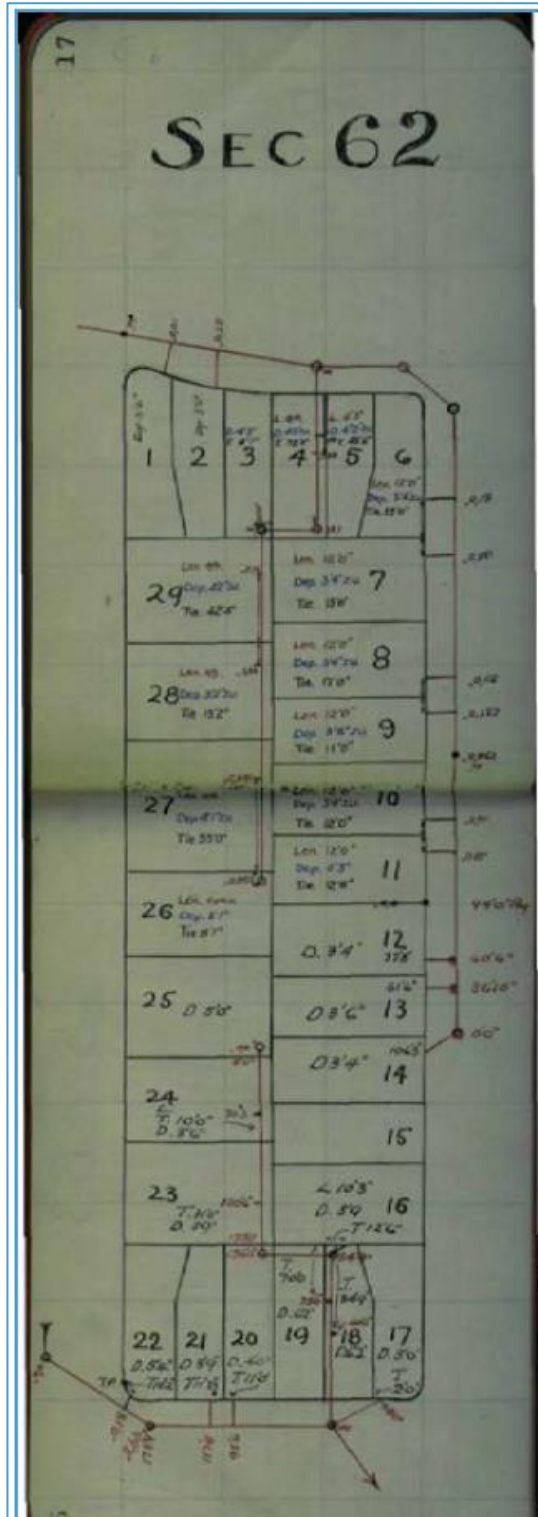


Sanitary drainage plan



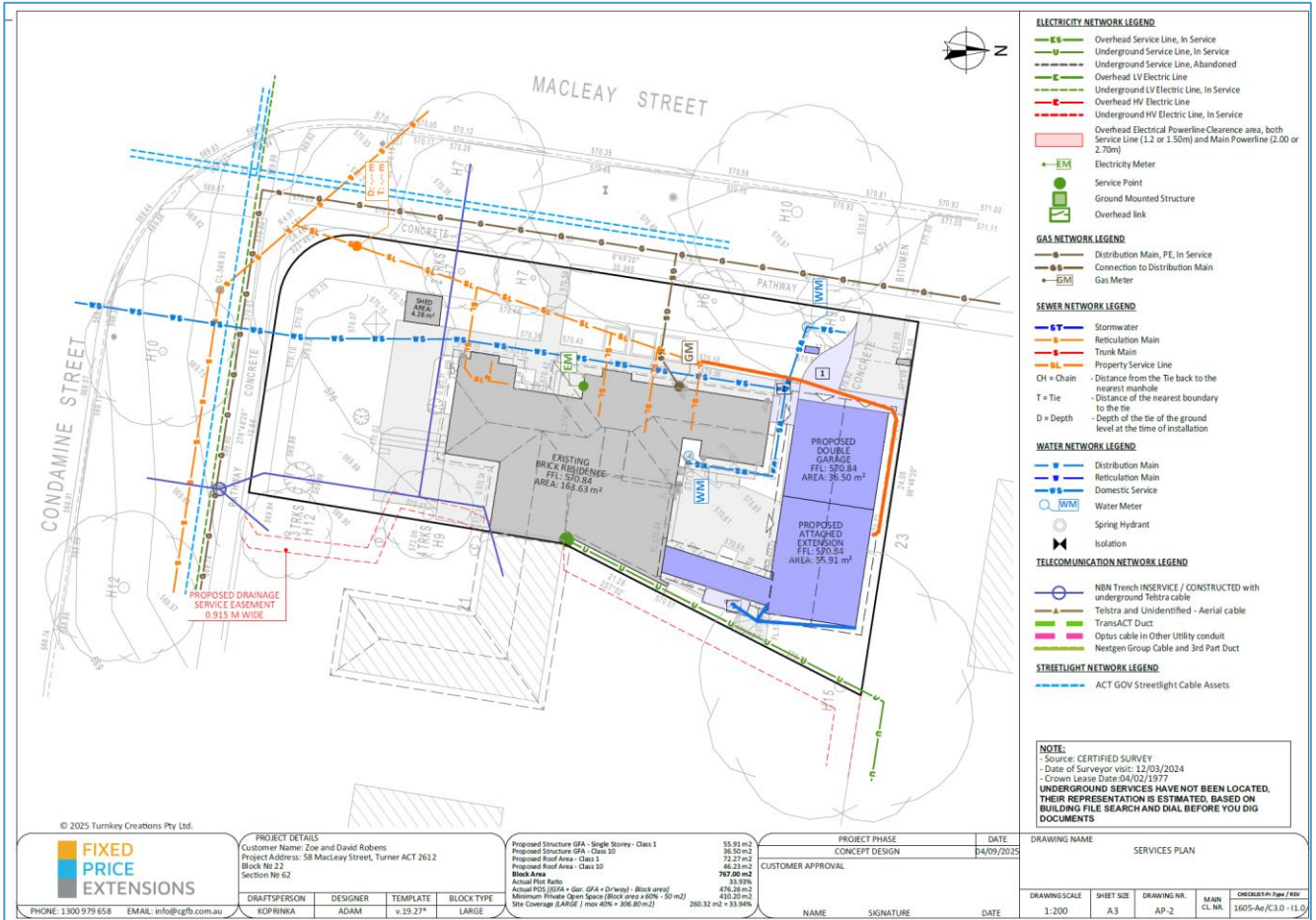
Plumbing tie search

On the Tie Image, **red lines** indicate sewerage, **green lines** indicate stormwater and **blue lines** indicate water supply. This search will only display the measurements and depth of the tie location for the selected block.



Proposed Drainage Connection

On the Proposed Drainage Connection, **red lines** indicate proposed drainage works.



Aerial view of the project block and surrounding neighbourhood

CANBERRA CENTRAL TURNER SECTION 62
Block 22

URBAN REGISTERED Block
Address: 58 MACLEAY STREET
Territory Plan - Land Use Zone: R24: MEDIUM DENSITY RESIDENTIAL
Territory Plan - Overlay Zone:
Plan Numbers: AP1749, POL167, X7618, DP2809
Block Area: 767 m²
[Territory Plan Link](#)

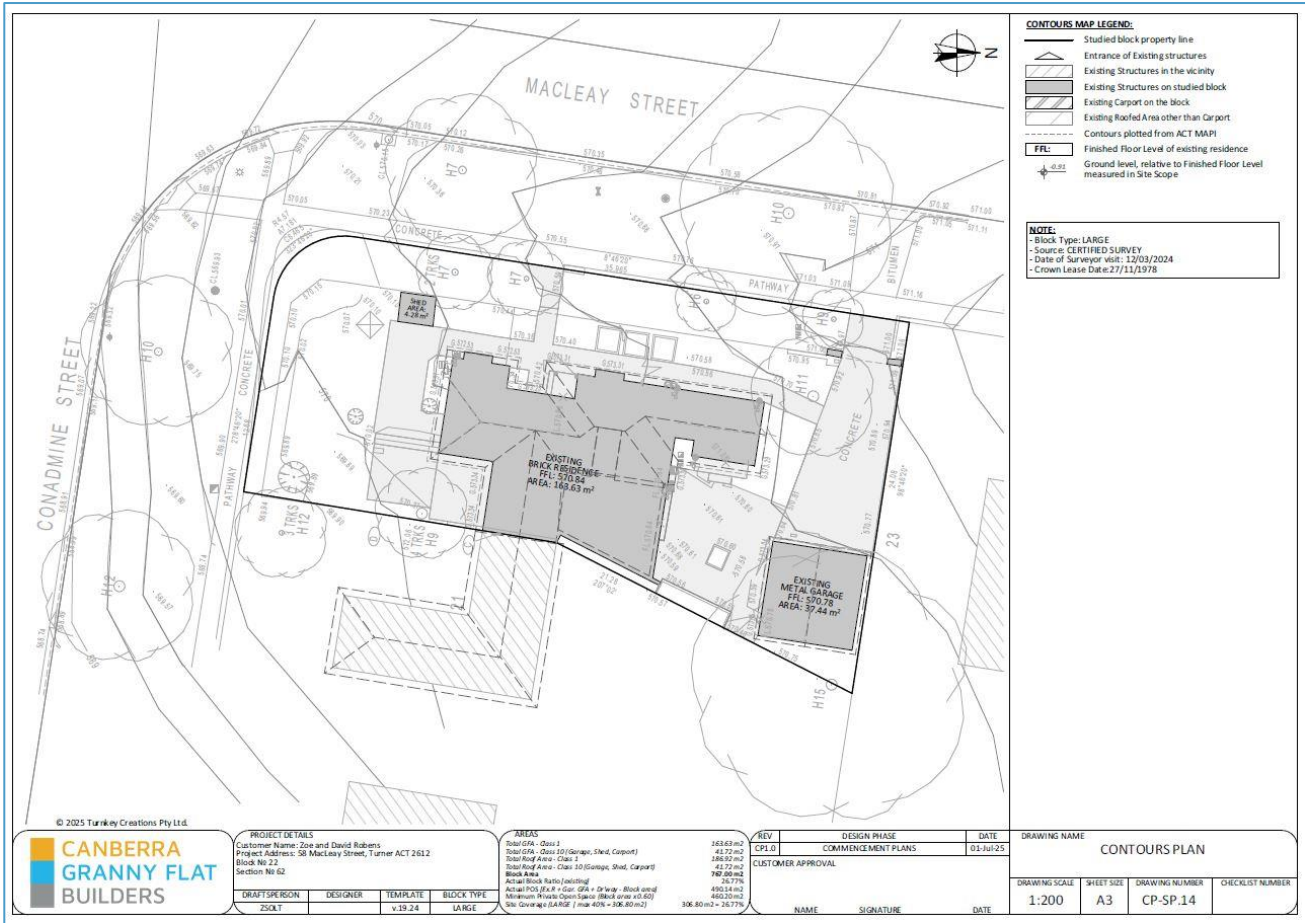
OBJECTID	383105
ID	113096
BLOCK_DERIVED_AREA	767
BLOCK_LEASED_AREA	
BLOCK_KEY	11050600022
BLOCK_NUMBER	22
SECTION_NUMBER	62
CURRENT_LIFECYCLE_STAGE	REGISTERED
ADDRESSES	58 MACLEAY STREET
PLAN_NUMBERS	AP1749 POL167, X7618, DP2809
VOLUME_FOLIO	74033
LAND_USE_POLICY_ZONES	R24: MEDIUM DENSITY RESIDENTIAL

OVERLAY PROVISION ZONES

NEW_TERRITORY_PLAN	Territory Plan Land Use Policies: R24: MEDIUM DENSITY RESIDENTIAL
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WATER_FLAG	0
STRATUM_DATUM_ID	
DIVISION_CODE	105
DIVISION_NAME	TURNER
DIVISION_SHORT	TURN
DISTRCT_CODE	1
DISTRCT_NAME	CANBERRA CENTRAL
DISTRCT_SHORT	CANB
LAST_UPDATE	May 1, 1990, 10:00 AM
GROUND_LEVEL	
STRATUM_LOWEST_LEVEL	
STRATUM_HIGHEST_LEVEL	
TYPE	URBAN
BLOCK_TYPE_ID	U
SENSITIVE_FLAG	0
TRANSITION_FLAG	62/22
BLOCK_SECTION	1749
AP_NUMBER	2809
DEPOSITED_PLAN_NO	7/eachaer-
GlobeIID	ce89-4e2a-8a6b-358e2f641b47
Shape_Area	767.044066
Shape_Length	121.511629

Aerial view of the project block with contours



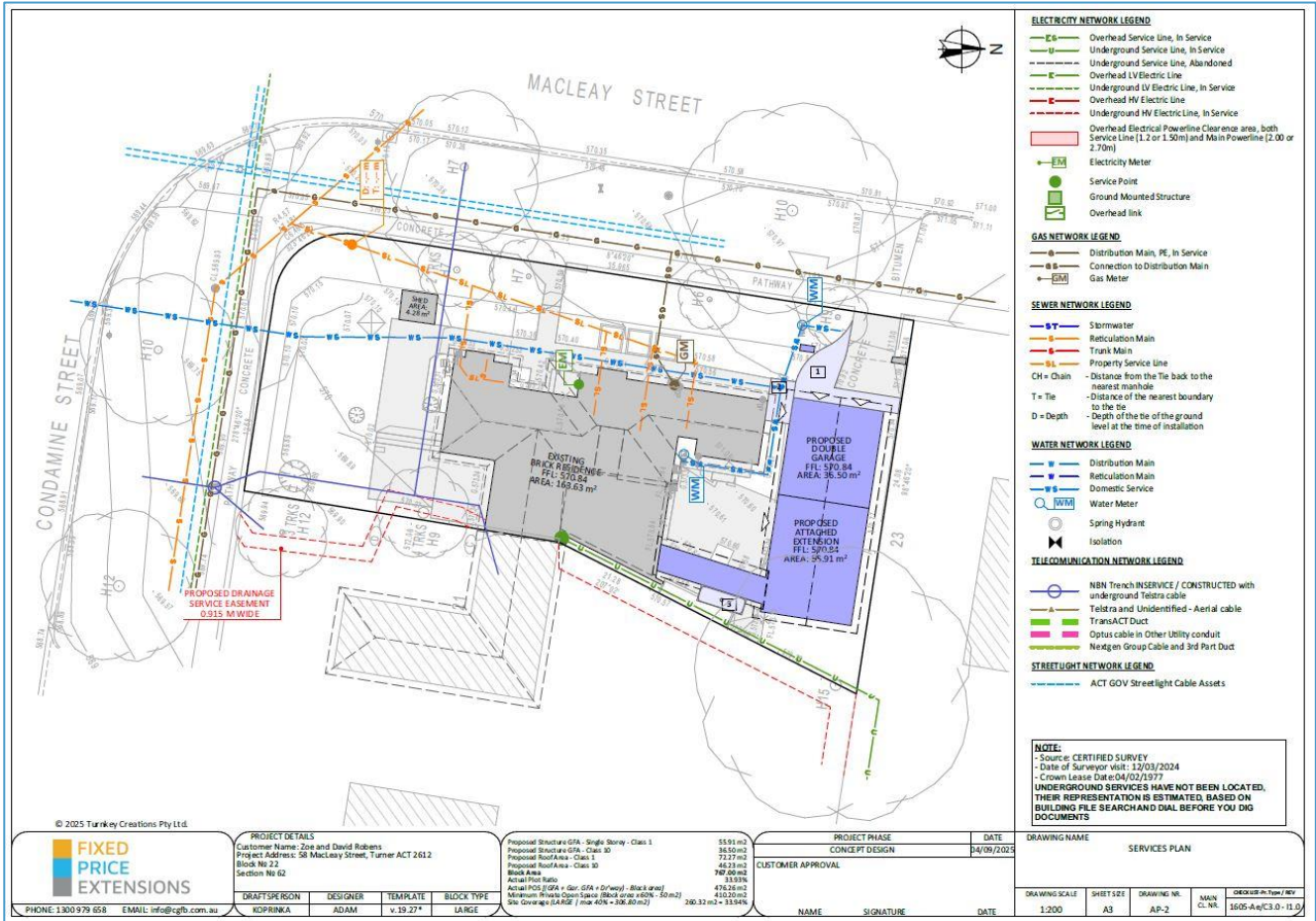
Aerial view of the project block with Easement, Offsets and Building Zone



Existing Meter



Services Location

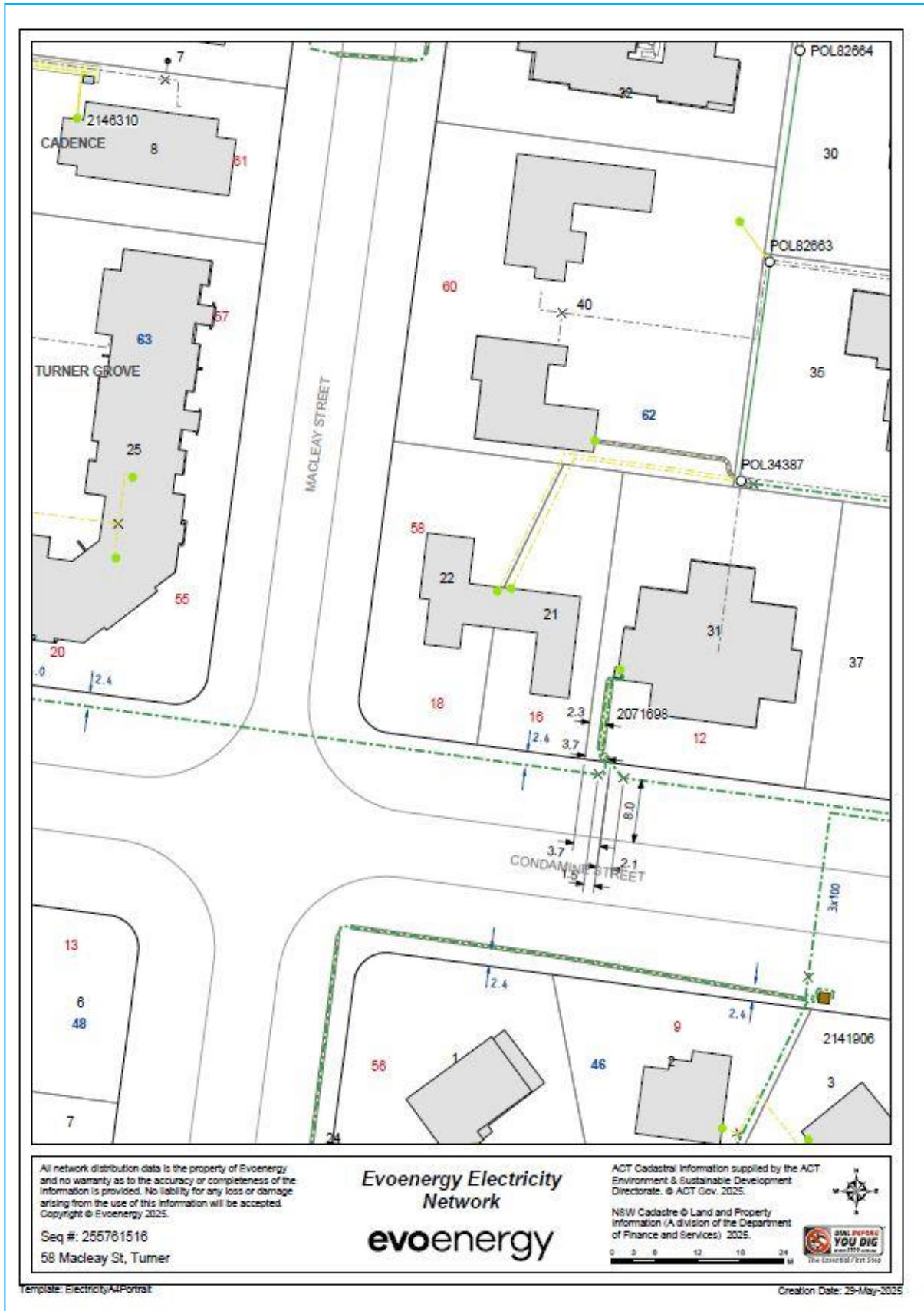


Aerial view of the project block with power lines and connections

Dotted line indicates underground power line.



Evo Energy Electricity Network



Evo Energy Electricity Network Legend

ELECTRICITY NETWORK LEGEND



<p>Support Structure (Distribution)</p> <ul style="list-style-type: none"> ○ Pole ○ Streetlight-Only Pole <p>Support Structure (Transmission)</p> <ul style="list-style-type: none"> ○ Pole □ Tower ▣ Yard Structure <p>Underground Structure</p> <ul style="list-style-type: none"> ▣ Pit <p>Recloser</p> <ul style="list-style-type: none"> ▣ Recloser <p>Building</p> <ul style="list-style-type: none"> ▣ Zone Building ▣ Standalone Chamber <p>Switches</p> <ul style="list-style-type: none"> ▣ Air Break ▣ Load Break ▣ Overhead Link <p>Fuse</p> <ul style="list-style-type: none"> ▣ Drop Out Fuse <p>Service Point</p> <ul style="list-style-type: none"> ● Service Point <p>Streetlight</p> <ul style="list-style-type: none"> ● Streetlight Controller <p>Joint</p> <ul style="list-style-type: none"> × Cable Joint <p>Underground Earth Cable</p> <ul style="list-style-type: none"> — Underground Earth Cable <p>Fibre Optic Cable</p> <ul style="list-style-type: none"> — Overhead Fibre Optic Cable — Underground Fibre Optic Cable <p>Copper Communication Cable</p> <ul style="list-style-type: none"> — Pilot Cable <p>Streetlight</p> <ul style="list-style-type: none"> ☀ Streetlight ● Streetlight Controller ⊙ Streetlight Photoelectric Controller ● Other Streetlight Support ● Streetlight Column <p>Streetlight Cable</p> <ul style="list-style-type: none"> — Overhead Streetlight Line — Underground Streetlight Line, In Service — Underground Streetlight Line, Abandoned <p>Transmission Line</p> <ul style="list-style-type: none"> — Overhead Transmission Line — Underground Transmission Line, In Service — Underground Transmission Line, Abandoned <p>HV Electric Lines</p> <ul style="list-style-type: none"> — Overhead HV Electric Line — Underground HV Electric Line, In Service — Underground HV Electric Line, Abandoned 	<p>LV Electric Lines</p> <ul style="list-style-type: none"> — Overhead LV Electric Line <p>Underground LV Electric Line <= 50 mm</p> <ul style="list-style-type: none"> — Underground LV Electric Line, In Service — Underground LV Electric Line, Abandoned <p>Underground LV Electric Line > 50 mm</p> <ul style="list-style-type: none"> — Underground LV Electric Line, In Service — Underground LV Electric Line, Abandoned <p>Service Lines</p> <ul style="list-style-type: none"> — Overhead Service Line <p>Underground Service Line <= 50 mm</p> <ul style="list-style-type: none"> — Underground Service Line, In Service — Underground Service Line, Abandoned <p>Underground Service Line > 50 mm</p> <ul style="list-style-type: none"> — Underground Service Line, In Service — Underground Service Line, Abandoned <p>Underground Route</p> <ul style="list-style-type: none"> — Duct <p>DuctBank</p> <ul style="list-style-type: none"> ▣ <all other values> ▣ Conduit ▣ DepthIndicatorDeep ▣ DepthIndicatorShallow <p>Ground Mounted Structure</p> <ul style="list-style-type: none"> ▣ Streetlight Control Cubicle ▣ Distribution Box ▣ Point-Of-Entry Cubicle ▣ HV Switching Station ▣ Kiosk ▣ Padmount ▣ Link Pillar ▣ Micro Pillar ▣ Mini Pillar ▣ Pregnant Column ▣ Communication Cubicle ▣ SCADA Cubicle <p>Electric Supply Site</p> <ul style="list-style-type: none"> ▣ 132kV Switching Station ▣ Bulk Supply Station ▣ Mobile Zone Substation ▣ Zone Substation ▣ Overhead Substation ▣ Chamber Substation ▣ Stockade
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IMPORTANT NOTE:

- The term 'ABANDONED' is utilised to identify an underground cable that has been physically disconnected from the Evoenergy electricity network, is not in service and cannot readily be put back into service without specific augmentation and/or reconnection works. Cable(s) identified by Evoenergy as 'ABANDONED' have been discarded in-situ by Evoenergy. ALL cables should be treated as 'LIVE' and Dangerous until proven de-energised and safe.

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Evo Energy Gas Network



Evo Energy Gas Network Legend

GAS NETWORK LEGEND

NETWORK MAINS

- Proposed New Main (coloured as per kPa)
- Proposed Isolate (coloured as per kPa)
- 100kPa Medium Pressure gas main
- 210kPa Medium Pressure gas main
- 250kPa Medium Pressure gas main
- 1050kPa High Pressure gas main
- 6895kPa-7000kPa High Pressure Primary gas main
- 14900kPa High Pressure Transmission Pipeline
- Abandoned Medium Pressure/High Pressure gas main
- Conduit or Casing
Size & Material (see conduit material codes)
- Exposed Main section
- Shallow Main section: see Protection Code below, no code assume no protection

SP Steel Plate	CE Concrete Encased
PP PE Plate	UNK Unknown Type
CS Concrete Slab	

NETWORK ASSETS

- Siphon
- Network Valve
- High Pressure Main Line Valve (=>1050kPa)
- High Pressure Automatic Line Break Valve (>1050kPa)
- Boundary Regulator Set
- Distribution Regulator Set (=<1050kPa)
- High Pressure Regulating Station (>1050kPa)
- Bulk Metering Station
- Pressure Monitoring Station
- Gas Station Structure
- Filter
- Silencer
- Catalyst Heater
- Water Bath Heater
- Regulator

CUSTOMER RELATED FEATURES

- Active Connection to customer premises
- Active Secondary Service
- Medium Pressure Gas Service- indicative position(Coloured as per kPa).
Service features created programmatically based on known pipe characteristics and cartographic principles. They may provide guidance to identify assets whilst in the field in addition to existing processes.
- Some Industrial and commercial services have been plotted as per the details received in as-built drawings
- Distance (in metres) of service from side Boundary where the service pipe crosses from the road reserve into private lot
Service placed towards left or right boundary
Service pipe size & material where known
- For connected sites with insufficient asset details, service is shown down the centre of the lot with no attributes plotted

ANNOTATIONS

Pipe and Conduit Material Codes

NY Nylon	ST STEEL
CONC Concrete	CU Copper
PE Polyethylene	
PVC Polyvinyl Chloride	

Pipe code combinations and dimension references

- 50mm PE 32mm NY 210kPa 32mm Nylon main inserted into 50mm PE pipe
- 75mm NY 210 kPa 75mm Nylon main
- R10.0 DISTANCE TO ROAD
- B10.0 DISTANCE TO BOUNDARY
- E10.0 DISTANCE TO END
- C10.0 DISTANCE TO CHANGE OF DIRECTION
- 3.8 DISTANCE FROM MAIN TO KERB
- 3.0 DISTANCE FROM MAIN TO BOUNDARY

GAS FITTINGS

- Gauging Point
- Flange
- Insulation joint

CP FEATURES

- CP Test Station
- Sacrificial Anode
- CP Ground Bend Cable(Anode Ground Bed)
- CP Rectifier Cable
- Transformer Rectifier(CP Rectifier Terminal)

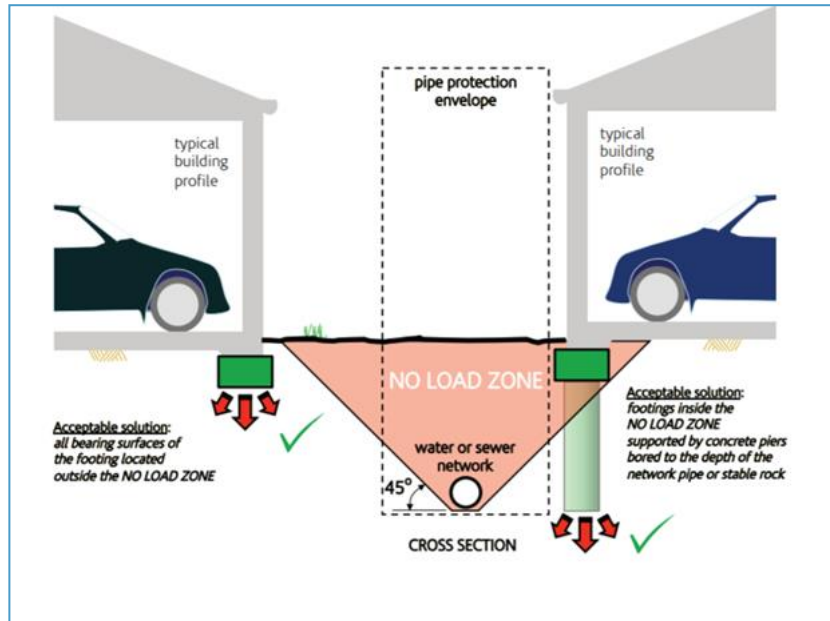
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Concrete Piers for Easements

Easement requirements- Sewer and Stormwater Easements

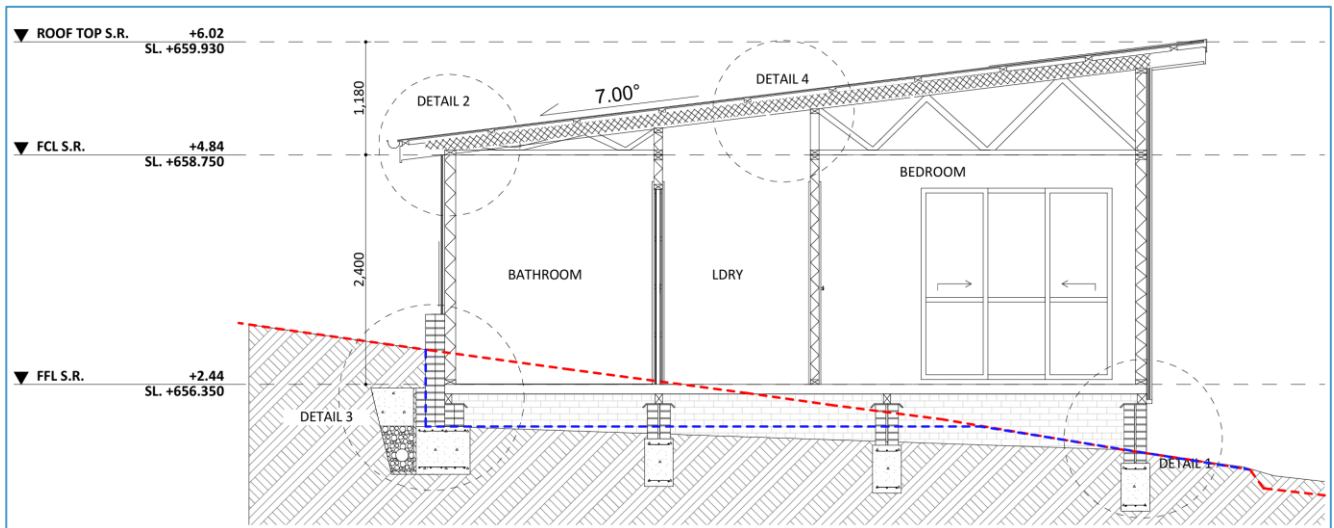
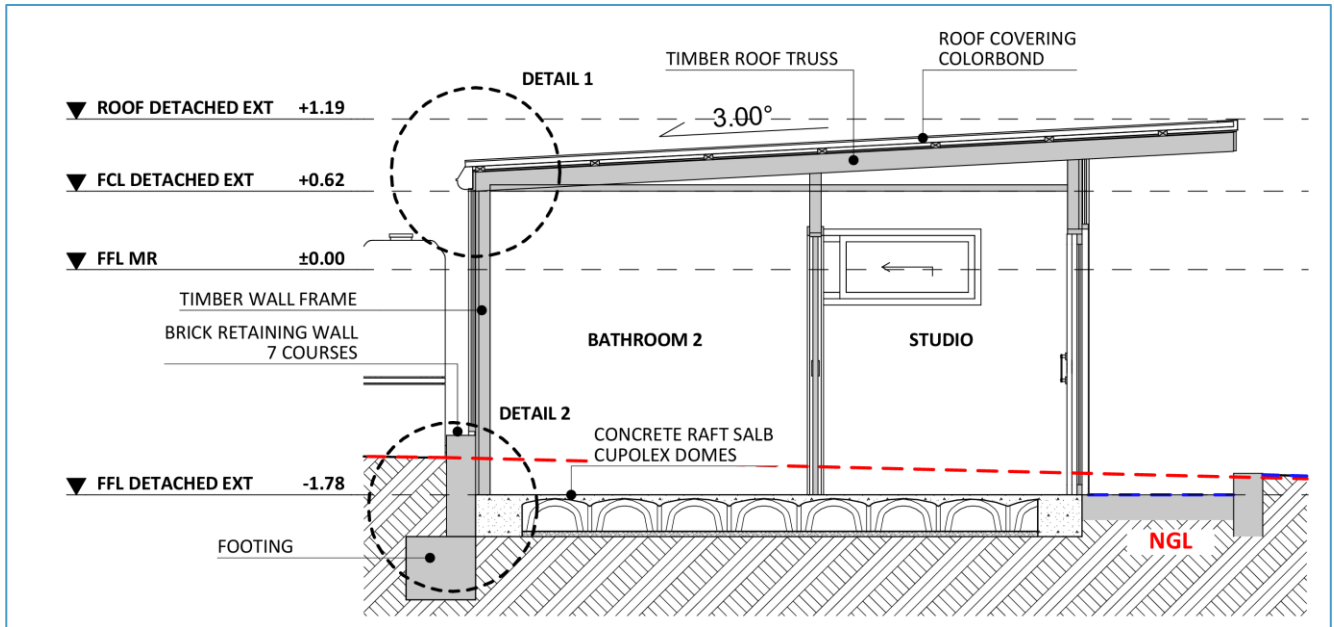
Below is an image from Icon Water representing their requirements should a structure be built near a sewer easement.



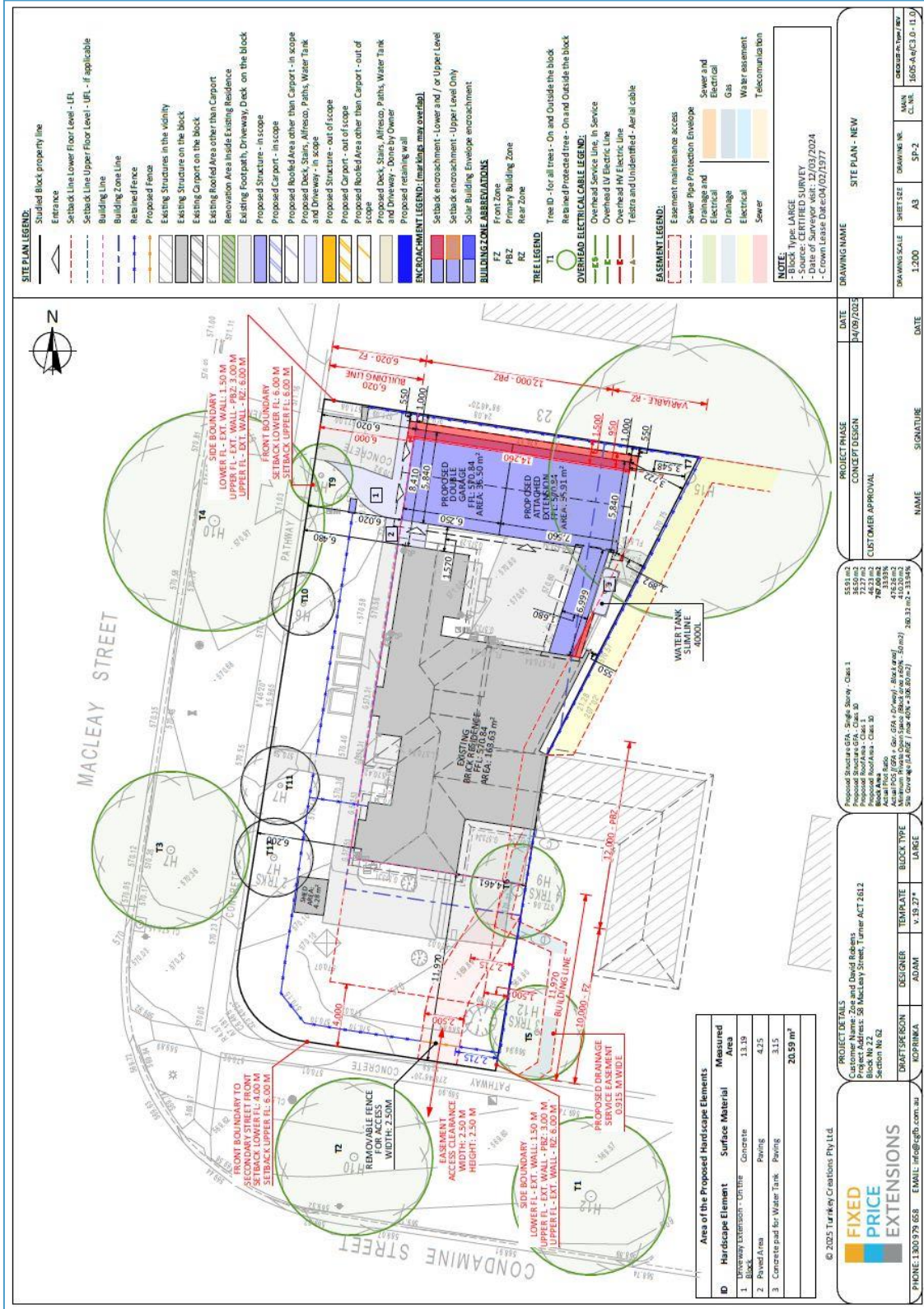
Site Cut and or Fill

Site Cut and or Fill Requirements – Flooring System

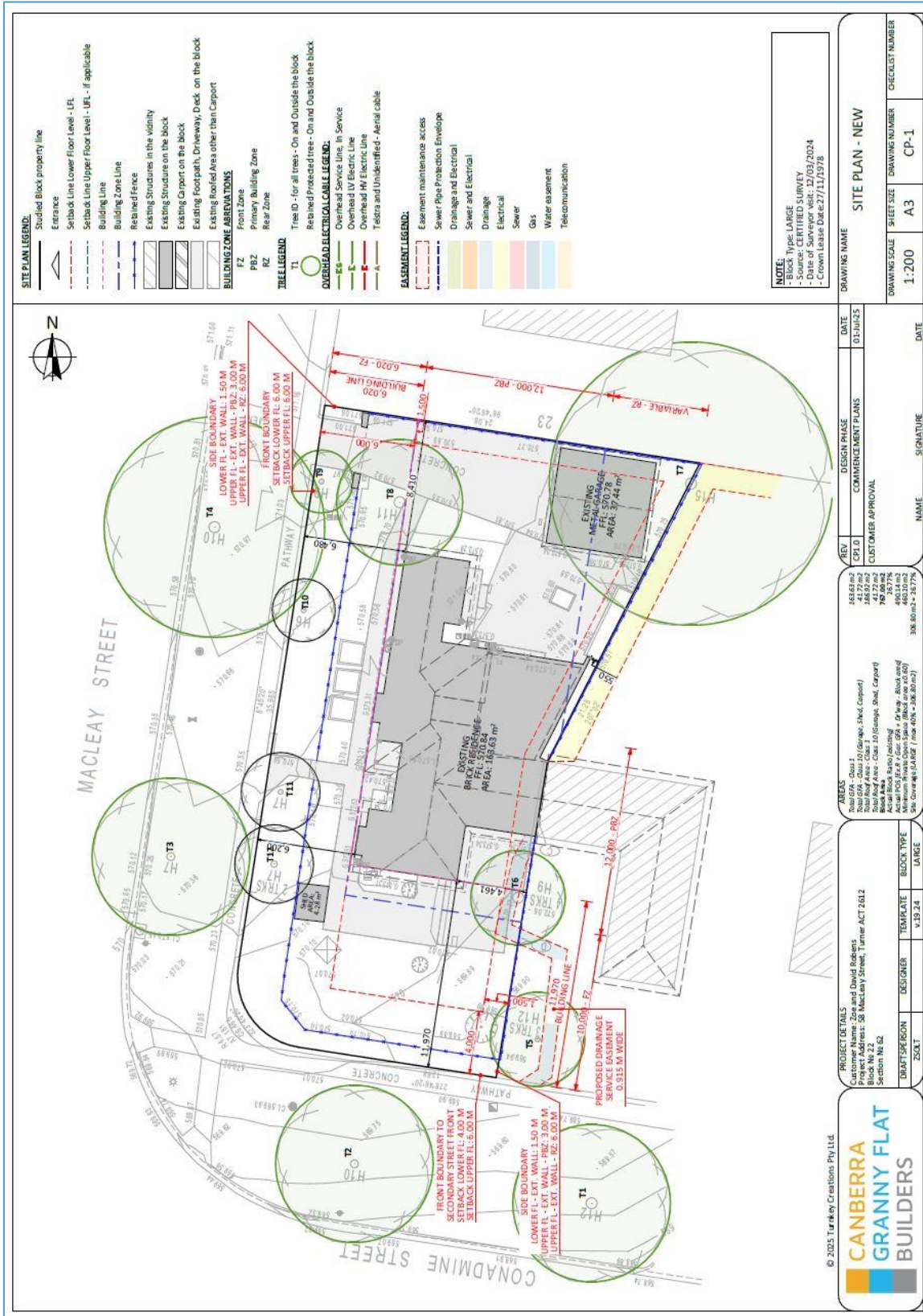
Below are two **sample** elevations representing the Site Cut and or Fill requirements dependant on the flooring system.



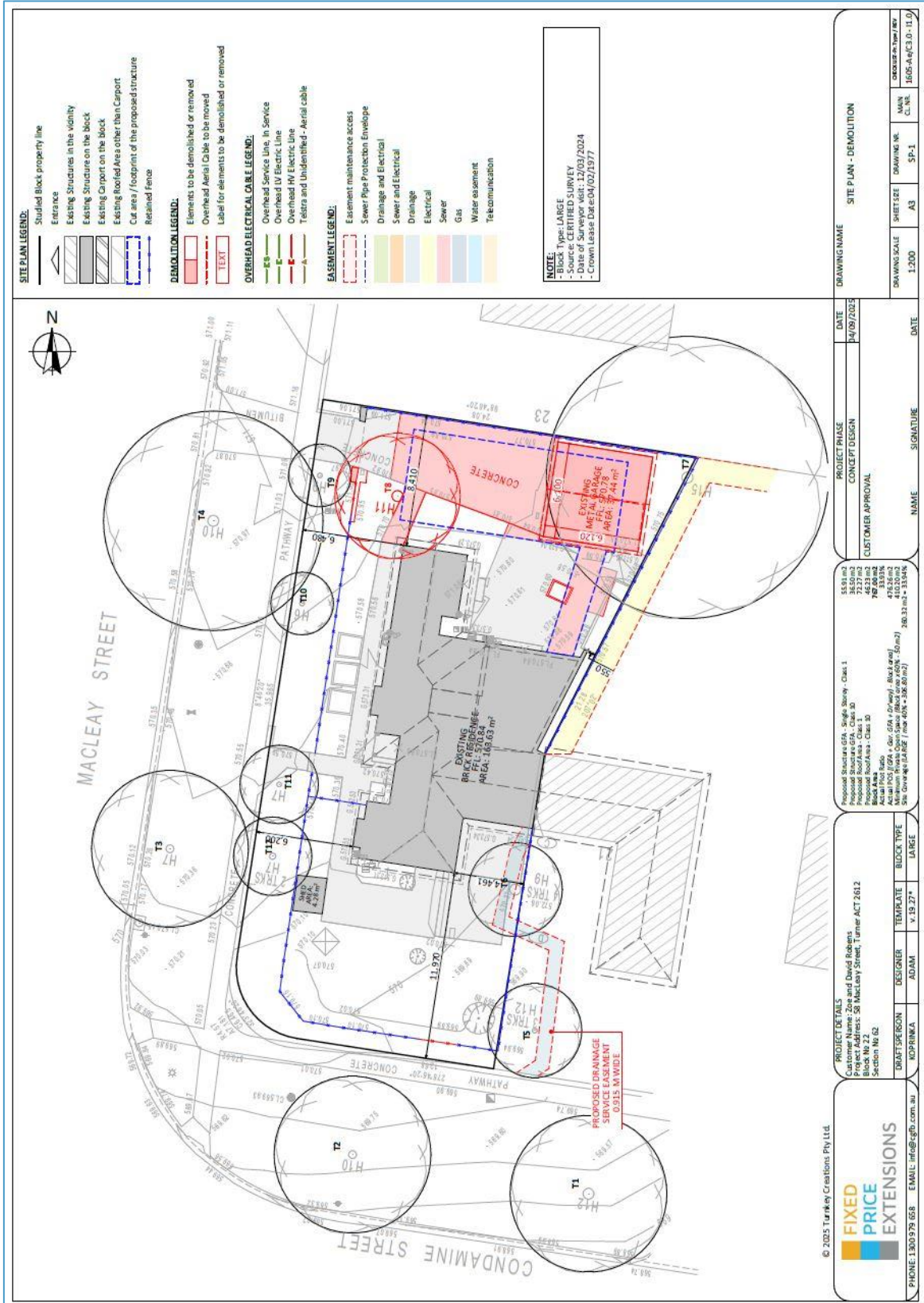
Allocation of parking behind the building line



Existing structures on site



Demolition Plan



Path of access to project site

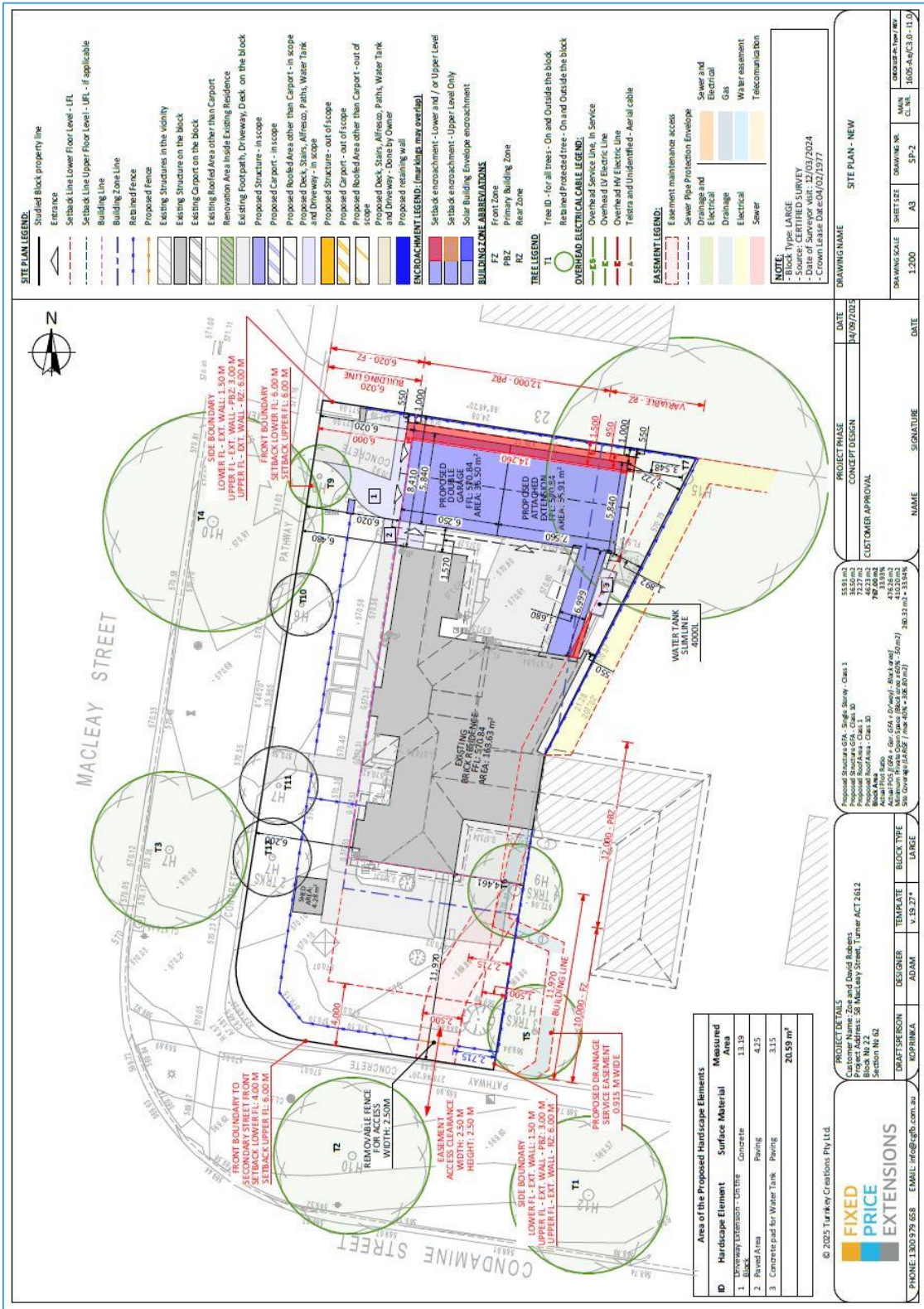
Red dotted line indicates proposed access.

There maybe other points of access for machinery and delivery of materials.

If existing landscaping must be disturbed in order to gain access for machinery and materials, the repair of this disturbance is not included, unless otherwise stated.



Site Map



- SITE PLAN LEGEND:**
- Studied Block property line
 - Entrance
 - Setback Line Lower Floor Level - LFL
 - Setback Line Upper Floor Level - UFL - if applicable
 - Building Line
 - Building Zone Line
 - Retained fence
 - Proposed fence
 - Existing Structures in the vicinity
 - Existing Structure on the block
 - Existing Carport on the block
 - Existing Roofed Area other than Carport
 - Renovation Area Inside Existing Residence
 - Existing Footpath, Driveway, Deck on the block
 - Proposed Structure - in scope
 - Proposed Carport - in scope
 - Proposed Roofed Area other than Carport - in scope
 - Proposed Deck, Stairs, Alfresco, Paths, Water Tank and Driveway - in scope
 - Proposed Structure - out of scope
 - Proposed Carport - out of scope
 - Proposed Roofed Area other than Carport - out of scope
 - Proposed Deck, Stairs, Alfresco, Paths, Water Tank and Driveway - Done by Owner
 - Proposed retaining wall

- ENCROACHMENT LEGEND: (marking, not overline)**
- Setback encroachment - Lower and / or Upper Level
 - Setback encroachment - Upper Level Only
 - Solar Building Envelope encroachment

- BUILDING ZONE ABBREVIATIONS**
- FZ Front Zone
 - PBZ Primary Building Zone
 - RZ Rear Zone

- TREE LEGEND**
- T1 Tree ID - for all trees - On and Outside the block
 - T2 Retained Protects tree - On and Outside the block
 - T3 Overhead Service Line, In Service
 - T4 Overhead IV Electric Line
 - T5 Overhead HV Electric Line
 - T6 Telstra and Unidentified - Aerial cable

- EASEMENT LEGEND:**
- Easement maintenance access
 - Sewer Pipe Protection Envelope
 - Overhead Electric
 - Drainage
 - Electrical
 - Sewer
 - Sewer and Electrical
 - Gas
 - Water easement
 - Telecommunication

NOTE:
 - Block Type: LARGE
 - Source: CERTIFIED SURVEY
 - Date of Surveyor visit: 22/03/2024
 - Crown Lease Date: 04/02/1977

PROJECT DETAILS
 Customer Name: Zoe and David Rabbits
 Address: 22 Macleay Street, Turner ACT 2612
 Block No: 22
 Section No: 62

PROJECT PHASE
 CONCEPT DESIGN
 CUSTOMER APPROVAL

DRAWING NAME
 SITE PLAN - NEW

DRAWING SCALE
 1:200

SHEET SIZE
 A3

DRAWING NO.
 SP-2

DATE
 04/09/2025

NAME
 SIGNATURE

Area of the Proposed Landscape Elements

ID	Hardscape Element	Surface Material	Measured Area
1	Driveway Extension - On/Tier	Concrete	11.19
2	Paved Area	Paving	4.25
3	Concrete pad for Water Tank	Paving	3.15
			20.59 m²

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FIXED PRICE EXTENSIONS
 PHONE: 1300 978 668 EMAIL: info@fpe.com.au

List of relevant components

Additional Structures

Paved Path

- Choice of pavers with an allowance of \$60 sqm.
- Installation is for standard tile sizes with a minimum dimension of 100mm X 100mm or maximum dimension of 600mm x 600mm. Tiles outside of these sizes may attract additional installation investment
- Installation allows for standard stack pattern. You may wish to upgrade to a brick or herringbone pattern; please note, this is not included in the total price, however we can provide a value for this during your inclusions process.
- Compact soil and lay substrate
- Includes 4.25 m2.

Concrete Driveway

- Choice of grey, red or limestone coloured concrete.
- Pour concrete slab.
- Install structural steel reinforcement.
- Construct concrete formwork.
- Includes 13.19 m2.

Demolitions

Existing Structure - Demolish existing metal garage

- Demolish relevant sections of existing building or structure.
- Remove waste from the project site.
- Recycle materials including steel, concrete and timber when possible.
- Includes disconnection of power, water, sewer and stormwater if required.
- Does not include the removal of personal items and freestanding storage systems.
- Does not include the removal of Asbestos.

Existing Structure - Demolish existing gate

- Demolish relevant sections of existing building or structure.
- Remove waste from the project site.
- Recycle materials including steel, concrete and timber when possible.
- Includes disconnection of power, water, sewer and stormwater if required.
- Does not include the removal of personal items and freestanding storage systems.
- Does not include the removal of Asbestos.

Concrete Recycling – Concrete under existing garage

- Excavate and remove concrete as required to complete construction of proposed project.

- Recycle concrete where possible.
- Cut concrete as required with concrete cutting demolition saws.
- Additional structures, trees, rocks, or any other items that are required to be removed, that are not reasonably visible are not included.

Concrete Recycling – Driveway concrete

- Excavate and remove concrete as required to complete construction of proposed project.
- Recycle concrete where possible.
- Cut concrete as required with concrete cutting demolition saws.
- Additional structures, trees, rocks, or any other items that are required to be removed, that are not reasonably visible are not included.

Paving Recycling - rear paving

- Excavate and remove pavings as required to complete construction of proposed project.
- Additional structures, trees, rocks, or any other items that are required to be removed, that are not reasonably visible are not included.
- Materials may also be kept/reused by the owners if desired.

Trees and Garden - Tree in driveway

- Remove small trees, shrubs and plants from the project site area.
- Where possible the green waste will be recycled for mulch offsite.
- Tree stumps and root systems will be removed from the site unless there is potential damage to existing landscaping and fencing that will be retained.

Trees and Garden - garden bed and lemon tree

- Remove small trees, shrubs and plants from the project site area.
- Where possible the green waste will be recycled for mulch offsite.
- Tree stumps and root systems will be removed from the site unless there is potential damage to existing landscaping and fencing that will be retained.

Mandatory

4,000L Slimline Poly Tank on Concrete Slab with Electric Water Pressure Pump

- Poly tank installed on reinforced concrete slab.
- Connection of new roof to tank, with sealed UPVC downpipes.
- Overflow connected to existing storm water system.
- Electric water pressure pump connected to new toilet(s), laundry cold-water tap and exterior tap(s).
- Automatic changeover feature. Water supply to toilet(s), laundry cold and exterior tap(s) will automatically switch from tank water to mains water when the tank level is low.
- Includes exterior power point.

- Connection to existing roofs and existing toilet(s), laundry cold and exterior tap(s) will attract additional investments.
- Corse Mesh Filter Included on Tank Inlet if applicable. Additional filtration (i.e. Inline) system will attract additional investments. For High Frequency usage - a pressure tank upgrade is recommended (not included in total investment)
- Applicable for all water tank sizes.

Drainage Upgrade - Long Connection Distance

- Supply and installation of all sewer and storm water drainage, including excavation requirements for the following
 - Long distances from existing sewer and storm water drainage infrastructure, and or,
 - Challenging access and or complexities to connect to existing services, i.e. connection through retaining wall
 - Connection to the existing infrastructure required drainage to be rediverted to avoid running under new or existing building and structures
- All new work to be completed using uPVC sewer and storm water pipe.
- Please note: If existing landscaping must be disturbed in order to dig trenches required for underground services, the repair of this disturbance is not included, unless otherwise stated.

Excavation and Earthworks – Site Cut and/or Fill

- Excavation of the site to achieve required building levels.
- Materials from the site cut are moved to another area on the property as fill.

Brick Pier for Fence


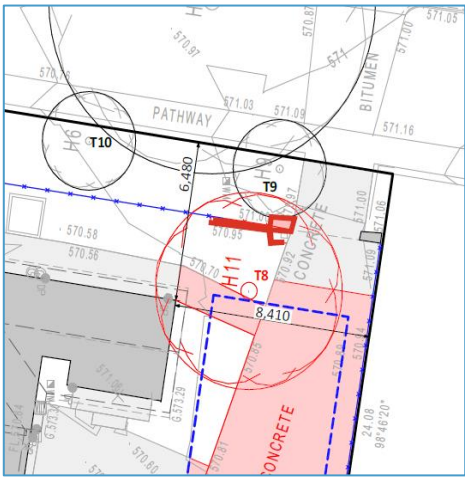
- Face brick piers to match new building.
- Includes brick allowance of \$1.40 per brick.
- Standard size bricks included. A standard brick is 230mm long, 76mm high and 110mm thick. This is the most common sized brick.
- Install Colorbond roof sheeting, fascia, gutter, downpipes, flashing and accessories.
- Install cement sheet eave linings.
- Apply exterior low sheen acrylic paint system to exterior components.
- Pour concrete footings as per structural engineer's design 1562.
- Roof coverings supplied to Australian Standard 1445.
- Roof coverings installed and designed to Australian Standard 1562.
- Frames designed and installed to Australian Standard 1684.

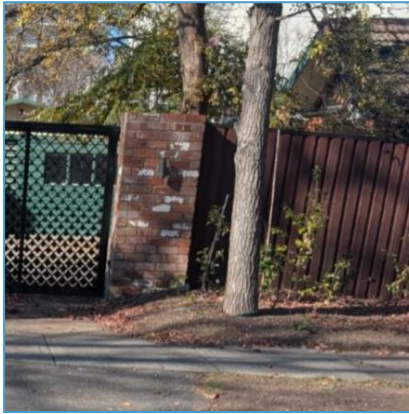

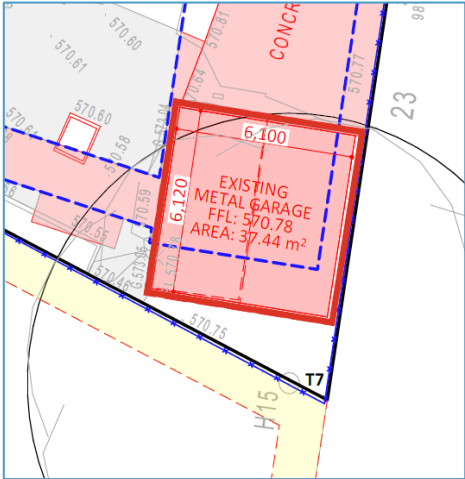
Details of Components


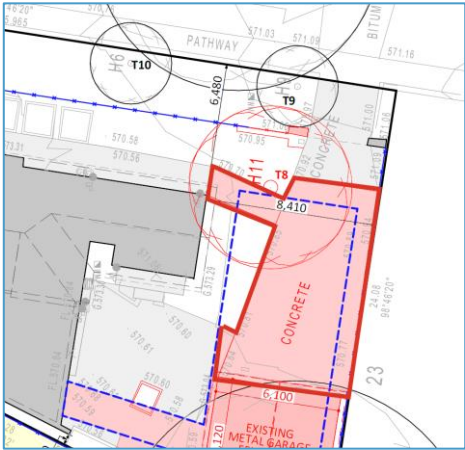

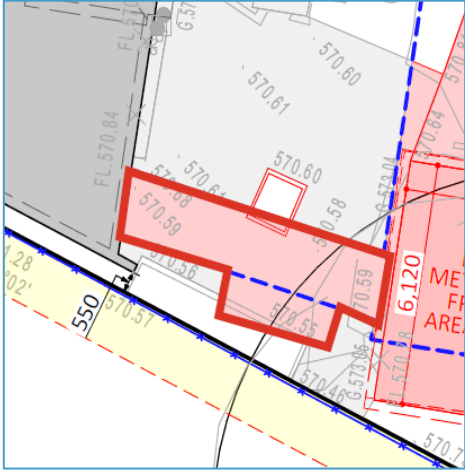
Additional Structures


Item	Photos	Materials	Dimensions	
Paved Path		Concrete	Area (m ²)	4.25
			Volume (m ³)	N/A
			Lineal Meters (m)	N/A
			Length (m)	N/A
			Width (m)	N/A
			Height/Depth (m)	N/A
			Price	\$850.00
Concrete Driveway		Concrete	Area (m ²)	13.19
			Volume (m ³)	N/A
			Lineal Meters (m)	N/A
			Length (m)	N/A
			Width (m)	N/A
			Height/Depth (m)	N/A
			Price	\$2,885.31

Demolition


Item	Photos	Materials	Dimensions	
<p>Existing Structure - Demolish existing metal garage</p>		<p>Concrete Metal Timber Glass Brick</p>	<p>Area (m²)</p>	<p>N/A</p>
			<p>Volume (m³)</p>	<p>N/A</p>
			<p>Lineal Meters (m)</p>	<p>N/A</p>
			<p>Length (m)</p>	<p>N/A</p>
			<p>Width (m)</p>	<p>N/A</p>
			<p>Height/Depth (m)</p>	<p>N/A</p>
			<p>Price</p>	<p>\$4,950.00</p>
<p>Existing Structure - Demolish existing gate</p>		<p>Concrete Metal Timber Plastic Glass Brick</p>	<p>Area (m²)</p>	<p>N/A</p>
			<p>Volume (m³)</p>	<p>N/A</p>
			<p>Lineal Meters (m)</p>	<p>N/A</p>
			<p>Length (m)</p>	<p>N/A</p>
			<p>Width (m)</p>	<p>N/A</p>
			<p>Height/Depth (m)</p>	<p>N/A</p>
			<p>Price</p>	<p>\$1,312.50</p>

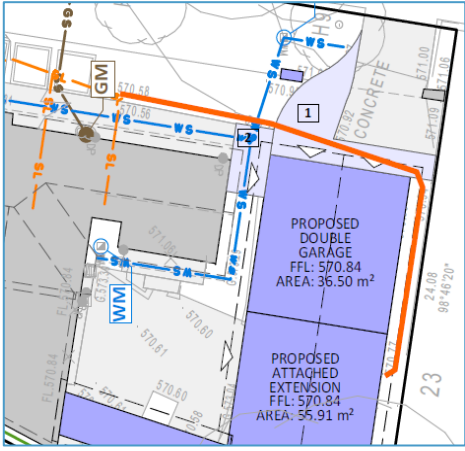
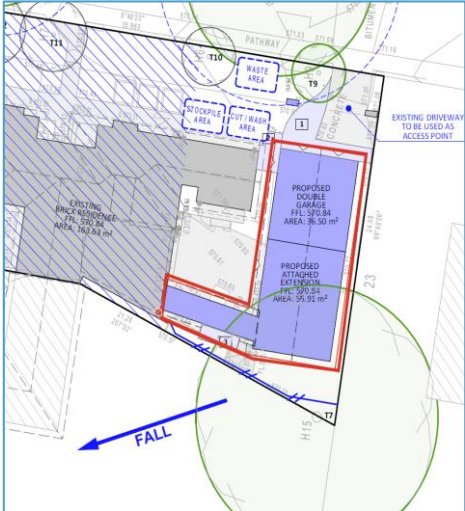
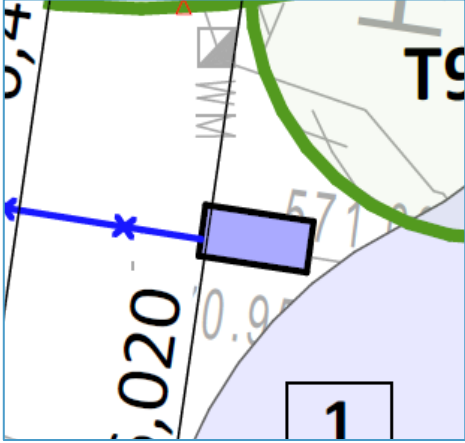
				
<p>Concrete Recycling – Concrete under existing garage</p>	  <p>EXISTING METAL GARAGE FFL: 570.78 AREA: 37.44 m²</p>	<p>Concrete</p>	<p>Area (m²) 37.44</p> <p>Volume (m³) 3.74</p> <p>Lineal Meters (m) N/A</p> <p>Length (m) 0.00</p> <p>Width (m) 0.00</p> <p>Height/Depth (m) 0.10</p> <p>Price \$5,366.40</p>	
<p>Concrete Recycling – Driveway concrete</p>		<p>Concrete</p>	<p>Area (m²) 59.89</p> <p>Volume (m³) 5.99</p> <p>Lineal Meters (m) N/A</p> <p>Length (m) 0.00</p> <p>Width (m) 0.00</p>	

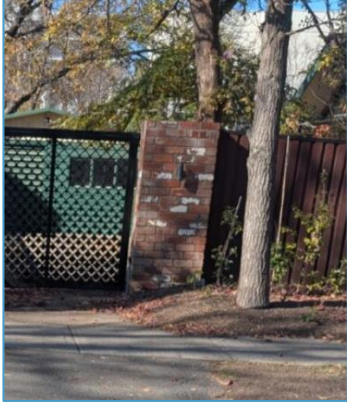
	 		<p>Height/Depth (m)</p> <p>Price</p>	<p>0.10</p> <p>\$8,584.23</p>
<p>Paving Recycling - rear paving</p>	 	<p>Pavings</p>	<p>Area (m²)</p> <p>Volume (m³)</p> <p>Lineal Meters (m)</p> <p>Length (m)</p> <p>Width (m)</p> <p>Height/Depth (m)</p> <p>Price</p>	<p>14.89</p> <p>1.49</p> <p>N/A</p> <p>0.00</p> <p>0.00</p> <p>0.10</p> <p>\$1,141.57</p>
		<p>Organic Green Waste</p>	<p>Area (m²)</p>	<p>N/A</p>

				
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Mandatory

Item	Photos	Materials	Dimensions	
4,000L Slimline Poly Tank on Concrete Slab with Electric Water Pressure Pump		N/A	Area (m ²)	N/A
			Volume (m ³)	N/A
			Lineal Meters (m)	N/A
			Length (m)	N/A
			Width (m)	N/A
			Height/Depth (m)	N/A
			Price	\$5,080.00
Drainage Upgrade - Long Connection Distance		N/A	Area (m ²)	N/A
			Volume (m ³)	N/A
			Lineal Meters (m)	22.00
			Length (m)	N/A
			Width (m)	N/A

	 <p>PROPOSED DOUBLE GARAGE FFL: 570.84 AREA: 36.50 m²</p> <p>PROPOSED ATTACHED EXTENSION FFL: 570.34 AREA: 55.91 m²</p>		<p>Height/Depth (m)</p>	<p>N/A</p>
			<p>Price</p>	<p>\$1,740.00</p>
<p>Excavation and Earthworks – Site Cut and/or Fill</p>	 <p>PROPOSED DOUBLE GARAGE FFL: 570.84 AREA: 36.50 m²</p> <p>PROPOSED ATTACHED EXTENSION FFL: 570.34 AREA: 55.91 m²</p> <p>FALL</p>	<p>N/A</p>	<p>Area (m²)</p>	<p>N/A</p>
			<p>Volume (m³)</p>	<p>13.80</p>
			<p>Lineal Meters (m)</p>	<p>N/A</p>
			<p>Length (m)</p>	<p>N/A</p>
			<p>Width (m)</p>	<p>N/A</p>
			<p>Height/Depth (m)</p>	<p>N/A</p>
			<p>Price</p>	<p>\$3,122.25</p>
<p>Brick Pier for Fence</p>	 <p>571.00</p> <p>0.95</p> <p>1</p>	<p>N/A</p>	<p>Area (m²)</p>	<p>N/A</p>
			<p>Volume (m³)</p>	<p>N/A</p>
			<p>Lineal Meters (m)</p>	<p>N/A</p>
			<p>Length (m)</p>	<p>N/A</p>
			<p>Width (m)</p>	<p>N/A</p>
			<p>Height/Depth (m)</p>	<p>N/A</p>
			<p>Price</p>	<p>\$2,510.63</p>

				
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Total Site Scope Work Investment

This site scope proposal is applicable to checklist 1605 Rev C3.0

Additional Structures		
Paved Path	\$850.00	
Concrete Driveway	\$2,885.31	\$3,735.31
Demolitions		
Existing Structure - Demolish existing metal garage	\$4,950.00	
Existing Structure - Demolish existing gate	\$1,312.50	
Concrete Recycling – Concrete under existing garage	\$5,366.40	
Concrete Recycling – Driveway concrete	\$8,584.23	
Paving Recycling - rear paving	\$1,141.57	
Trees and Garden - Tree in driveway	\$3,600.00	
Trees and Garden - garden bed and lemon tree	\$512.50	\$25,467.20
Mandatory items		
4,000L Slimline Poly Tank on Concrete Slab with Electric Water Pressure Pump	\$5,080.00	

Drainage Upgrade - Long Connection Distance	\$1,740.00	
Excavation and Earthworks – Site Cut and/or Fill	\$3,122.25	
Brick Pier for Fence	\$2,510.63	
		\$12,452.88
Total Investment Including GST:		\$41,655.39

Items for Consideration

Drainage Complexities

- We have identified that connection to existing drainages for sewer and or stormwater may pose engineering or access challenges for one of the possible reasons
 - Pathway through steep elevations
 - Pathway through retaining walls/structural components
 - Pathway through where other services intersect and require protection.
- The services are not reasonably visible and therefore may not be assessed until excavation and or site works have begun.

Mandatory Works that maybe imposed by utility providers

Utility providers may require work to be undertaken to obtain approval for construction.

At this stage it is not possible to determine the scope of works as the requirements and specifications are conditions issued by the utility provider.

Below are items of upgrades, the possibility, and the approximate investment. This is provided as a guide and is not included in the fixed price agreement.

Type		Probability	Approximate Investment
Move service power cables	Move to different location above ground	Not applicable	\$800 - \$2,200
	Upgrade to underground lines	Not applicable	\$7,500 - \$12,000
Upgrade of service power cables	Upgrade of Above Ground Lines	Not applicable	\$3,500 - \$5,000
	Upgrade of Below Ground Lines	Unlikely	\$7,500 - \$12,000
Upgrade of existing meter and or switchboard		Plausible	\$500 - \$6,000

Potential Additions

While we have taken every care and consideration in accounting for all variables within the project, in some rare occasions there are items that cannot be anticipated as they are not visible, and therefore not identifiable, until construction begins. In most scenarios this variation will be a value of less than \$5,000.

The main items that would require a project variation are:

- Asbestos
- Concrete and Rock

The potential locations where these items could be not visible are:

- Buried inground, potentially from previous demolitions as rubble – less than 5% probability
- Hidden in cavities of structures – less than 5% probability

Frequently Asked Questions

Q: What is the difference between Building; Demolition and Mandatory Build items?

A: For the Building and Demolitions components, you can elect to have a third-party complete the tasks or opt to DIY the tasks yourself. The Mandatory Build elements must be completed by CGFB and therefore are non-negotiable.

Q: What are some issues which might arise if I choose to do my own demolition?

A: If you are demolishing an existing structure that has water, sewage or electricity connected, you may need to ensure the services are turned off prior to commencing. If you prefer to DIY some of the demolition, we highly recommend you obtain advice from a builder or qualified tradesperson prior to commencing any work.

Q: When can I commence any or some of the non- Mandatory Build items?

A: If you decide to conduct some of the activities in the demolition component yourself or have engaged third-party providers, we highly recommend you wait until we have obtained Development Approval (DA) or Building Approval (BA), whichever is applicable to your project. The time it takes to obtain DA or BA can unexpectedly extend, which could make your backyard a hazard for any given length of time.

As safety is paramount, we recommend you proceed with caution. For small shrubs or garden beds, you can usually commence when you are ready, as long as you are aware of the inconvenience this may cause whilst waiting for a DA or BA, particularly if weather is wet.

Q: Is the price in this proposal included in my overall project proposal?

A: Your site work proposal is additional to the overall investment which will form part of your Project Proposal.

The site works proposal identifies all the element of your property that will be required to prepare your block for the project build. It has been developed to allow you to choose which of the non-Mandatory elements you would like to complete yourself.

Third-party contracts that other clients have successfully used

We have listed contractors that past clients have engaged with to do the third-party work directly and who have saved by engaging directly.

The list of trade services below are provided as a guide only and should not be taken as preferred or recommended suppliers.

Demolition Suppliers

Anthony

Mb: 0415 162 457

Triscape2021@icloud.com

Crown Independence

Gary Reid

Mb: 0423 807 747

<https://www.crownasbestosremoval.com.au/>

Excavation Suppliers

Cicada Earth

Mar Willis

Ph: 0413 081 849

cicadaearth@gmail.com

PD Earthworks

Paul Howland

Mb: 0431 043 329

pdearthworks17@outlook.com

Aussie Bobcats

David Schilg

Mb: 0411 598 458

david.schilg@bigpond.com

<https://www.aussiebobcats.com.au/>

Tree removal Provider

TREEasy – Your local certified tree surgeons

Ph: 0434 402 816

<https://www.facebook.com/treeasy>

Tree Removal Canberra

Ph: 02 6130 0744

<https://www.treeremovalcanberra.net.au/>

ACT Tree Felling

Ph Southside: 02 6281 2687

Ph Northside: 02 6162 2678

Mobile: 0417 492 760

service@acttree.com.au
<http://www.acttree.com.au/>

ACT Stump Grinding
David Hanns
Mobile: 0404 060 316
Ph: (02) 6235 9015

General Labouring

Alex's Gardening and Handyman Services
Alex Warne
Mb: 0403 456 860
alex.warne@gmail.com

JPJ Cummins Handyman Services
Mb: 0447 766 537
jpjcummins@gmail.com

Asbestos testing and removal

ATR Asbestos Removal
Anau Takiari
Mb: 0472 589 581
info@atrasbestosremoval.com

Glade Group
Ph: 0488 442 222
hello@gladegroup.com.au
<https://www.gladegroup.com.au/>

AABS Asbestos Removal
Ph: 0431 311 097
aasbestos1@gmail.com
<https://www.aasbestos.com/>

Asbestos Watch Canberra
Ph: 02 6189 1500
<https://www.asbestoswatchcanberra.com.au/>

Disconnection of power and electrical

Steve Blakers Electrical
Steve Blakers
0457 065 905
steven.blakers@mail.com

Blades Electrical
Daniel Blades

0413 499 756
bladeselectrical@gmail.com

General rubbish removal

ACT Rubbish
Ph: 1300 737 533
Mb: 0432 854 544
info@actrubbish.com.au
www.actrubbish.com.au

Removal of sheds

When it comes to the removal of garden sheds and metal garages many customers have had success with placing the sheds and garages on gumtree.com.au offering for people to remove.



Garage or workshop free for removal
Free

GARAGE OR WORKSHOP on steel frame for removal 7.25x3.7m, roller door, side door and window, flat roof, some wiring, good condition at Macquarie FREE or optional donation to Vinnies or Salvos.

Belconnen Area
Macquarie

04/11/2019



Attachment to the HIA agreement

This Site Scope Proposal is to be read in conjunction with the HIA Agreement.

Signed date.....

Owners Name(s).....

Owners Signature(s).....

Builders Signature.....